



**Edgewood Court, Sacriston, DH7 6XH**  
**4 Bed - House - Detached**  
**£215,000**

**ROBINSONS**  
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\* ENCLOSED SOUTH FACING REAR GARDEN WITH NICE VIEWS \* RE-FITTED EN-SUITE \* CUL DE SAC POSITION \* A MUST VIEW \*

An excellent opportunity to purchase this ideally located four bedroom family detached house enjoying a pleasant cul-de-sac setting.

The property offers a good layout with well proportioned living accommodation throughout. The accommodation briefly comprises of entrance hallway, former garage, lounge and dining area with walk-in bay window and patio doors to decking, breakfasting kitchen, utility and downstairs wc/cloaks. To the first floor there are four bedrooms, the master benefiting from en-suite shower room, and a family bathroom. The property enjoys lovely south facing views, and has an enclosed garden with decked patio area. To the front is a further lawned garden, and off-street car parking.

The property is located in the traditionally popular village of Sacriston which has good access to schools, amenities, recreational facilities, bus and motoring links. In our opinion the property should appeal to a variety of potential purchasers and we would strongly recommend an early internal inspection.

An exceptional family home - early viewing considered essential!

## GROUND FLOOR

### Hallway

### Downstairs WC

### Lounge / Dining Room

24'0" x 11'2" (7.34 x 3.41)

### Former Garage

12'2" x 11'1" (3.72 x 3.38)

### Breakfasting Kitchen

10'7" x 7'10" (3.24 x 2.39)

### Utility Room

## FIRST FLOOR

### Landing

### Bedroom One

10'9" x 9'4" (3.28 x 2.87)

### En-Suite

### Bedroom Two

9'3" x 9'1" (2.83 x 2.79)

### Bedroom Three

9'4" x 8'10" (2.85 x 2.71)

### Bedroom Four

8'9" x 7'10" (2.67 x 2.39)

### Bathroom

### Agents Notes

Electricity Supply: Mains

Water Supply: Mains

Sewerage: Mains

Heating: Gas

Broadband: Basic 16Mbps, Superfast 79Mbps,

Mobile Signal/Coverage: Good/Average/Poor

Tenure: Freehold

Council Tax: Durham County Council, Band C - Approx.

£1,959p.a

Energy Rating: D

Disclaimer: The preceding details have been sourced from the seller and OnTheMarket.com. Verification and clarification of this information, along with any further details concerning Material Information parts A, B & C, should be sought from a legal representative or appropriate authorities. Robinsons cannot accept liability for any information provided.





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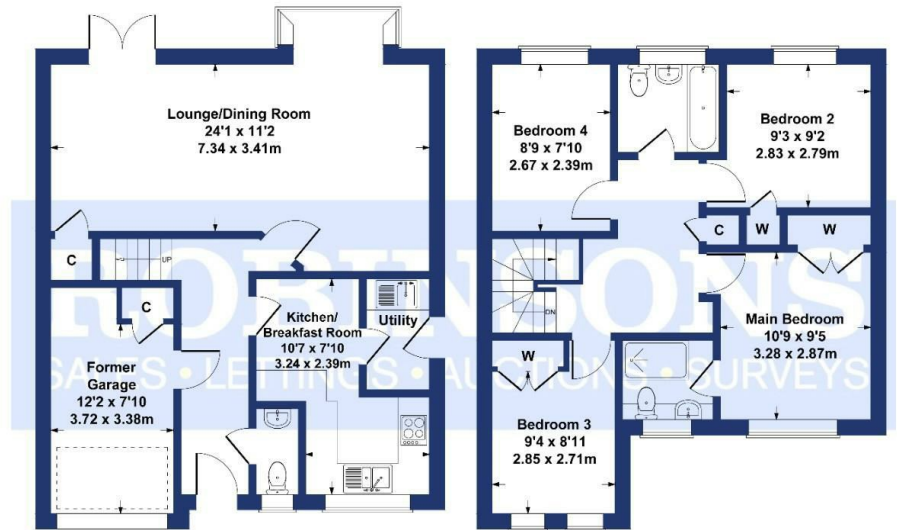
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Strategic Marketing Plan

Dedicated Property Manager

**Edgewood Court**  
Approximate Gross Internal Area  
1272 sq ft - 118 sq m



GROUND FLOOR

FIRST FLOOR

## SKETCH PLAN FOR ILLUSTRATIVE PURPOSES ONLY

All measurements walls, doors, windows, fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.

Produced by Potterplans Ltd. 2023

Energy Efficiency Rating	
Current	Potential
Very energy efficient - lower running costs	
A	
B	
C	
D	
E	
F	
G	
Not energy efficient - higher running costs	
England & Wales	EU Directive 2002/91/EC

Environmental Impact (CO <sub>2</sub> ) Rating	
Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions	
A	
B	
C	
D	
E	
F	
G	
Not environmentally friendly - higher CO <sub>2</sub> emissions	
England & Wales	EU Directive 2002/91/EC

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